



# DRIVEWAY AND LOT DRAINAGE PERMIT GUIDELINES

Location:  
1050 Malabar Road, SW  
Palm Bay FL 32907

Driveway Office Hours:  
Monday – Friday  
7:00am – 3:30pm

Phone Number:  
321.952.3403

All references to ordinances contained herein refer to the Palm Bay Code of Ordinances unless otherwise stated.

Revision: 12.1.2003

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## 1. When Required

### A. *Driveway Permits*

No person, firm, corporation, or governmental agency shall construct, remove, alter, reconstruct, access the right-of-way temporarily or permanently, repair, or relocate any curb, culvert, sidewalk, driveway, gutter, pavement, or other improvement in any city road or easement without obtaining a driveway permit from the Public Works Department. When a driveway or other existing improvement has relocated, changed, or abandoned, making any portion or all of the driveway or other improvement unnecessary, the owner of the abutting property shall obtain a permit and shall remove the driveway or other improvement and shall, at his own expense, install or replace all necessary curbs, gutters, culverts and sidewalks. (*Title XVII, Chapter 179.076*)

### B. *Residential Drainage Lot Permit*

All proposed single-family residential building permit applications must be accompanied by a residential drainage permit application. (*Title XVII, Chapter 174.073*)

## 2. Fees

The fees for issuance of a driveway permits and residential drainage permits are as follows

### A. *Driveway Permit*

(1) Driveway Permit (**residential**) new construction (includes \$112.00

3 inspections: pre-pour, pre-sod, and final)

- |  |          |
|--|----------|
| (2) Driveway Permit ( <b>commercial</b> ) new construction   | \$146.00 |
| (3) Driveway Permit Revisions (including: curb cut, extension to existing permitted driveway, extension to existing pipe, repair or rebuilding of existing driveway and/or demolition of an existing driveway) | \$56.00  |
| (4) Driveway Re-inspections , re-calls, failures, expirations within 90 days, each additional site visit ( <b>To be paid prior to re-inspection</b> )  | \$33.00  |

**B. Residential Drainage Lot Permit**

- |  |         |
|--|---------|
| (1) Drainage Permit ( <b>residential</b> ) new construction (includes one review and one inspection)   | \$33.00 |
| (2) Modification to adjacent drainage conveyance facilities  | \$56.00 |
| (3) Additional reviews and/or inspections  | \$33.00 |
| (4) Any additional engineering, surveying and/or inspection services provided by the City will be charged to the applicant at cost plus overhead |         |

**C. Fee Increase**

The fees set forth in this Section shall be increased by four percent (4%) (rounded to the nearest dollar) each fiscal year. (*Title XVII, Chapter 179.077, Permit Procedure - Amended Ordinance No. 2000-70*)

**D. Permit Expiration**

Driveway permits and Residential Drainage Permits expire in ninety (90) days. Re-activation of a permit requires a new application with required fees. A request for a one time extension will be considered by the Public Works Director or designee if warranted.

**3. Application**

**A. Availability**

Applications can be picked up at 1050 Malabar Rd. during normal business hours. Applications also can be downloaded from the City of Palm Bay's website at <http://www.palmbayflorida.org/Departments/Building/Residential%20Guidelines/driveway%20application.pdf>

**B. Submission**

The application must be accompanied by a neat clear drawing with these minimum requirements (survey drawing preferred)

- Drawing will be of a format no larger than ANSI B (11" X 17") with a minimum size of ANSI A (11" x 8 ½") for residential submissions.
- Drawing will be to scale as indicated

- The following information shall be available on the drawing: Project Location (address), Lot, Block, Subdivision, and Contractor's Name.
- Minimum graphic requirements will be as required by State of Florida, Board of Surveyors and Mappers, Chapter 61G17-6 F.A.C. (Florida Administrative Code), Minimum Technical Standards including the following:
  - ❑ Location and width of driveway at right-of-way line in reference to side lot lines
  - ❑ Distance from driveway to closest Public Utility and Drainage easements at side of lots
  - ❑ Width of driveway at street or road
  - ❑ All lot and structure dimensions
  - ❑ Street Names
  - ❑ North Arrow
  - ❑ Distance of driveway edge at pavement to PC (point of curvature) of edge of pavement at intersection when driveway location is within 60' of center of right-of-way of cross street
  - ❑ All drainage easements
  - ❑ All setbacks
  - ❑ The location of existing swale, pavement, and cross drains fronting and adjacent to the parcel
  - ❑ The Elevation of the Center Line of the road opposite garage

- The Finished Floor Elevation (note: finish floor elevation is the elevation of the structure after required County septic permits and / or any minimum height requirements along with waste line fall requirements are factored in. This elevation will match the completed asbuilt finish floor elevation. The calculation of proposed finished floor elevation as used previously for application submission does not fulfill this new requirement)
- The Finished Floor elevation of all dwelling units on property adjacent to the project. (note: this includes living structures along all shared property lines)
- Existing and proposed topographic survey data sufficient to determine historical and proposed drainage patterns
- The location and elevation of the septic tank drainfield with indicated setbacks from boundary lines.
- The location, elevation and cross sections (minimum 25 foot intervals) of any adjacent drainage conveyance facility.
- Any other information as may be deemed necessary by the Public Works Director, or designee, to determine compliance with Sections A and B, including certification by a Professional Engineer, licensed in the State of Florida, as to the design of any drainage system components.

## **4. Specification**

### **A. *Timetable***

After the application is received allow 3 weeks for engineering and drainage structure specifications (this is your permit) to be provided. You will be notified when the specifications are available.

**B. Delivery**

Specifications will be supplied to the Contractor of record when completed. All contractors should ensure grading contractors have specifications on site.

**5. Inspection**

A free inspection and documentation of the road surface condition at the site can be requested prior to the lot being cleared. If an inspection is not done, or is done after the lot is cleared, filled or graded, the pavement condition will be assessed during the final driveway inspection. Any damage that is determined to be associated with construction must be repaired prior to approval. (*Title XVII, Chapter, 179.080*)

**A. Request**

Requests for inspections can be made in person, or by calling 952-3403, between the hours of 7:00 a.m. and 3:00 p.m., Monday through Friday. Inspections requested before 3:00 p.m. will be scheduled for the next working day. Calls received after 3:00 p.m. will be forwarded to the list for forty-eight (48) hours hence. All effort will be made to satisfy inspection requests during the next working day but the City reserves the right to carry inspections forward depending on request volume.

**B. *Inspection Results***

All results of driveway inspections will be posted on the permit board or front window at the project site. All contractors are asked to have permit boards present at the project site. Please read these comments before calling driveway inspection office.

**C. *Pre-pour Inspection***

Pre-pour inspections are offered at no extra cost. This is to insure that the culvert inverts are correct and that minimum dimension specifications have been followed. After checklist items 1-10 (pre-pour) have been completed, you may call for a pre-pour inspection. (NOTE: do not board up the end of the pipe as these elevations are checked during the inspection. See checklist. An approved pre-pour will have an orange colored "OK" painted in the form.

**D. *Final Inspection***

After pouring the concrete, complete checklist items 1-11 (final) and call for a final inspection. (NOTE: vegetation/sod must be in place from property line to property line!) See checklist.

**E. *Final Review***

After the driveway has passed final inspection on site, the permit package will be reviewed by the Driveway Coordinator the next working day and approved or disapproved. At this time the Coordinator will review final asbuilt elevations on all right-of-way drainage, asbuilt drawings for the residential drainage permit, resolution of any complaints caused by the

construction, any outstanding fees owed, and compliance for any other required information. A Driveway Permit approval will then be called into the Building Department's A.I.R.S (Automated Inspection Report System). The Building Department will issue a Certificate of Occupancy based on this and other permit approvals.

## **6. Adjacent Properties**

### **A. *Containment***

All contractors working within the City of Palm Bay will be aware that all construction must be contained on the lot under construction. All clearing, grubbing, side slopes, drainage berms, sod, and any other yard drainage improvements on the improved lot should be located wholly on the improved lot. It is the responsibility of the contractor to ensure that this is done, otherwise the City will require that lot corners be marked during all phases of construction. In addition, the City would require verification (asbuilt) that all lot improvements are not on adjacent properties before a Driveway Permit Approval is issued.

### **B. *Damage***

Any damage caused by the contractor or representatives of the contractor to adjacent properties will be restored to original condition before Permit approval. This applies to all subcontractors including utility companies.

## **7. City Right-of-Way**

All contractors are required to follow all City Ordinances and Codes applicable to working in the right-of-way. Any person(s), firm, business

entity, or corporation that damages property located on, under, across or along a right-of-way or easement or any city road or other city improvement shall be required to either restore the damaged property to its condition prior to the damage or shall pay to the city the sum of money determined by the Public Works Department to be necessary to restore the damaged area to its condition prior to the damage. Any such restoration shall meet all construction and engineering standards of the City. Additionally, any permittee who has previously failed to restore the damage(s) as required by this subchapter shall not be issued further permits from the City until such damage is either restored and accepted by the Public Works Department, or the entire cost plus overhead, of restoration incurred by the city to make such restorations has been paid in full by the permittee. In the event discrepancies arise as to the responsibility for damage, the burden of proof shall be on the permittee.

*(Title XVII, Chapter 174.073)*

**A. Drainage**

Special concern should be given to keeping all drainage conveyances clear and functioning at all times either by grading daily or installing a temporary pipe, upon notification and approval of this office.

**B. Ground Cover**

The contractor is required to replace all damaged or dead ground cover caused by construction. Restoration includes, but is not limited to, damage caused by flooding in the right-of-way swale, clean up of silt

deposits on adjacent swale areas, and restoration of vehicle damage in the right-of-way.

**C. *Materials Storage in Right-of-Way***

No construction materials are to be stored in the City right-of-way.

**D. *Right-of-Way Safety Procedures***

All required safety procedures when working in the right-of-way are to be followed. Failure to do so will result in shut down of the project until all violations are addressed.

**E. *Drainage Structures***

All contractors will be held responsible for the condition of drainage structures in the vicinity of the project. A free inspection and documentation of the existing condition of nearby and/or downstream drainage structures can be requested prior to the lot being cleared.

**F. *Violations***

Any of right-of-way Ordinance violations that require removal or immediate action by the City will result in a hold on Final Approval until all costs incurred by the City have been paid.

**G. *Additional Permits***

Applicants should contact the Building Division for any additional permits required outside of the right-of-way.

**8. Drainage Requirements**

**A. *Single Family Residence***

- The lowest finished floor elevation of the proposed dwelling may not be above the lowest finished floor elevation of any existing adjacent dwelling by more than one foot for each five feet of setback from the common property line.
- Side slopes on any area within the lot cannot exceed 1 foot vertical for each 5 feet horizontal.
- In areas with municipal sanitary sewer service, the maximum differential between the lowest finished floor elevation of a proposed dwelling and the lowest finished floor elevation of any adjacent existing dwelling is six inches.
- The development of the proposed dwelling shall not adversely impact the historical drainage of the block in which the proposed dwelling is to be located. The developer of the proposed dwelling unit must accommodate historical drainage by redirecting it to a legal positive outfall.
- The drainage from the development of the proposed dwelling must be directed to a legal positive outfall, without adversely impacting any adjacent properties.
- All proposed single-family residential building permit applications must be accompanied by a residential drainage permit application. The application must include
  - **A notarized statement by the property owner acknowledging responsibility to maintain the lot drainage system and holding**

**the City harmless from any liability regarding the lot drainage system. The City will record this document.**

- An as-built boundary and topographic survey, prepared and sealed by a Professional Land Surveyor and Mapper, licensed in the State of Florida, with sufficient vertical elevations to establish finished floor elevations, slopes and drainage patterns shall be submitted to the Driveway Program Office and approved prior to the issuance of the Certificate of Occupancy.
- The inspection, approval and issuance of a Certificate of Occupancy shall not be construed as a warranty of the drainage system. After issuance of a Certificate of Occupancy, it shall be the responsibility of the property owner to maintain the drainage system. The property owner will be liable for the costs incurred by the City of Palm Bay to correct any deficiency in the drainage system. Modification of the drainage system after issuance of the Certificate of Occupancy is not permitted without a new Residential Drainage Permit.

***B. Adjacent Conveyance Facility***

- Where the proposed dwelling lot is adjacent to an existing drainage conveyance ditch or drainage infrastructure, the property owner will be required to maintain a maximum side slope of three feet horizontal to one foot vertical from the centerline of the facility to the lowest finished floor elevation, with a five foot wide buffer zone adjacent to the dwelling structure at the lowest finished floor elevation.

- Any modifications to the drainage facility required to meet this Section will be at the property owner's expense.
- The property owner shall also be required to maintain sufficient capacity in the drainage facility should the applicant propose modifications to the drainage facility to accommodate the proposed dwelling structure.

## **9. Chapter 174: Floodplain and Stormwater Management**

**(A) Drainage Requirements for Single Family Residential Construction.** All single-family residential development shall meet the following requirements:

1. The lowest finished floor elevation of the proposed dwelling may not be above the lowest finished floor elevation of any existing adjacent dwelling by more than one foot for each five feet of setback from the common property line.
2. Side slopes on any area within the lot cannot exceed 1 foot vertical for each 5 feet horizontal.
3. In areas with municipal sanitary sewer service, the maximum differential between the lowest finished floor elevation of a proposed dwelling and the lowest finished floor elevation of any adjacent existing dwelling is six inches.
4. The development of the proposed dwelling shall not adversely impact the historical drainage of the block in which the proposed dwelling is to be located. The developer of the proposed dwelling unit must accommodate historical drainage by redirecting it to a legal positive outfall.
5. The drainage from the development of the proposed dwelling must be directed to a legal positive outfall, without adversely impacting any adjacent properties.

**(B) Adjacent Drainage Conveyance Facilities.** Where the proposed dwelling lot is adjacent to an existing drainage conveyance ditch or drainage infrastructure, the property owner will be required to maintain a maximum side slope of three feet horizontal to one foot vertical from the centerline of the facility to the lowest finished floor elevation, with a five foot wide buffer zone adjacent to the dwelling structure at the lowest finished floor elevation.

Any modifications to the drainage facility required to meet this Section will be at the property owner's expense.

The property owner shall also be required to maintain sufficient capacity in the drainage facility should the applicant propose modifications to the drainage facility to accommodate the proposed dwelling structure.

### **(C) Residential Drainage Permit**

1. All proposed single-family residential building permit applications must be accompanied by a residential drainage permit application. The application must include:
  - a. The lowest finished floor elevation of the proposed dwelling unit.
  - b. The lowest finished floor elevation of any adjacent dwelling unit.

- c. Existing and proposed topographic survey data sufficient to determine historical and proposed drainage patterns.
  - d. The location and elevation of the septic tank drainfield (if applicable).
  - e. The location, elevation and cross sections (minimum 25 foot intervals) of any adjacent drainage conveyance facility.
  - f. Any other information as may be deemed necessary by the Public Works Director, or designee, to determine compliance with Sections A and B, including certification by a Professional Engineer, licensed in the State of Florida, as to the design of any drainage system components.
  - g. A notarized statement by the property owner acknowledging responsibility to maintain the lot drainage system and holding the City harmless from any liability regarding the lot drainage system. The City will record this document.
  - h. Permit fee, in accordance with the following schedule:
    - 1. New construction (includes one review and one inspection)  
\$33.00
    - 2. Modification to adjacent drainage conveyance facilities  
\$56.00
    - 3. Additional reviews and/or inspections  
\$33.00
2. The fees as set forth in this Section shall be increased by four percent (4%) (rounded to the nearest dollar) each fiscal year. Should any decrease in such fees be warranted in any given year, they shall also be decreased annually by that percentage that accurately reflects the reduction of permits requested and the specific and ascertainable resulting reduction in funds needed to pay the City of Palm Bay costs to manage all services and time needed to issue and monitor the permits required by this section.
  3. Residential drainage permits expire in ninety (90) days.
  4. Any additional engineering, surveying and/or inspection services provided by the City will be charged to the applicant at cost plus overhead.
  5. The Chief Building Official shall withhold issuance of the Certificate of Occupancy until compliance with this Ordinance has been determined. An as-built boundary and topographic survey, prepared and sealed by a Professional Land Surveyor and Mapper, licensed in the State of Florida, with sufficient vertical elevations to establish finished floor elevations, slopes and drainage patterns shall be submitted and approved prior to the issuance of the Certificate of Occupancy.
  6. The inspection and issuance of a Certificate of Occupancy shall not be construed as a warranty of the drainage system. After issuance of a

Certificate of Occupancy, it shall be the responsibility of the property owner to maintain the drainage system. The property owner will be liable for the costs incurred by the City of Palm Bay to correct any deficiency in the drainage system. Modification of the drainage system after issuance of the Certificate of Occupancy is not permitted without a new Residential Drainage Permit.

7. Any person(s), firm, business entity, or corporation that damages property located on, under, across or along a right-of-way or easement or any city road or other city improvement shall be required to either restore the damaged property to its condition prior to the damage or shall pay to the city the sum of money determined by the Public Works Department to be necessary to restore the damaged area to its condition prior to the damage. Any such restoration shall meet all construction and engineering standards of the City. Additionally, any permittee who has previously failed to restore the damage(s) as required by this subchapter shall not be issued further permits from the City until such damage is either restored and accepted by the Public Works Department, or the entire cost plus overhead, of restoration incurred by the city to make such restorations has been paid in full by the permittee. In the event discrepancies arise as to the responsibility for damage, the burden of proof shall be on the permittee.
8. A performance bond or other financial surety, acceptable to the City Attorney, may be provided to ensure compliance with this Ordinance.
9. Such surety will be in the amount 110% of the value of the proposed work and accompanied by a non-refundable processing fee of two hundred dollars (\$200.00). Upon satisfactory completion of the improvement in accordance with the permit requirements and/or repair of any damage to City facilities, as determined by the Public Works Director, said surety shall be released.

#### **(D) Appeals**

A property owner may appeal the application of the criteria defined in Sections A and B to the Board of Adjustments and Appeals. Adjacent property owners shall be provided with a minimum of fourteen (14) days written notice of the hearing.

## 10. Chapter 179: Driveway Permits

### A. §179.075 Definitions.

For the purpose of this subchapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**CITY ROAD.** All roads designated as city roads by Florida Statutes.

**CULVERT.** Any structure not classified as a bridge which provides an opening under the driveway for the passage of storm water.

**CURB.** A concrete border forming part of a gutter along the edge of a pavement.

**DRIVEWAY.** A prepared path for a vehicle giving ingress or egress from a roadway to an abutting property line.

**DRIVEWAY PERMIT GUIDELINES.** A document describing the process and providing drawings and illustrations, containing the technical specifications and details for the construction of driveways and related infrastructure in the public right-of-way.

**EASEMENT.** A strip of land on or through property in which a right to utilize for access, drainage, sanitation, or other public use has been granted, including roads.

**GUTTER.** A manmade channel for draining of stormwater at the edge of a pavement.

**PAVED.** Provision of a surface that is smoothly graded, hard surfaced and adequately drained for vehicular use.

**PUBLIC WORKS DEPARTMENT.** The Public Works Director of the Public Works Department of the city government or his/her designated representative.

**ROAD.** Includes streets, sidewalks, alleys, highways, and other ways open to travel by the public, and includes all area within the right-of-way in which such ways are located, including easements.

**ROADWAY.** The portion of a road providing the traveled way and the adjacent shoulders.

**SIDEWALK.** A prepared path, usually paved, along the side of a road for the use of pedestrians.

**SWALE.** A natural or manmade open drainage depression in which storm water may flow.

**SWALE DRIVEWAY.** A driveway whose surface is depressed in elevation to form a swale.

*('74 Code, § 20-75) (Ord. 85-11, passed 3-21-85; Am. Ord. 2000-70, passed 12-21-00)*

### B. §179.076 When Required

No person, firm, corporation, or governmental agency shall construct, remove, alter, reconstruct, access the right-of-way temporarily or permanently, repair, or relocate any curb, culvert, sidewalk, driveway, gutter, pavement, or other

improvement in any city road or easement without obtaining a driveway permit from the Public Works Department. When a driveway or other existing improvement has relocated, changed, or abandoned, making any portion or all of the driveway or other improvement unnecessary, the owner of the abutting property shall obtain a permit and shall remove the driveway or other improvement and shall, at his own expense, install or replace all necessary curbs, gutters, culverts and sidewalks.

(74 Code, §20-76) (Ord. 85-11, passed 3-21-85; Am. Ord. 2000-70, passed 12-21-00) Penalty, see § 179.999

**C. §179.077 Permit Procedure.**

(A) *Application procedure.* Application for a driveway permit shall be made to the Public Works Director or designee on forms provided. Each applicant shall provide the information and drawings specified on the permit application for the particular type of improvement. Additionally, each applicant shall be required to agree to maintain the constructed improvements and to hold the Council harmless for any liability arising from failing to maintain or from improperly maintaining the improvement.

(B) *Issuance of permit.* Upon receipt of the application and drawings, the Public Works Director or designee shall review the application and determine compliance with the location, drainage, construction and traffic engineering requirements established by the Council and whether it is consistent with future development of the area and any plans for future expansion of the existing road. If the application meets the applicable requirements, the Public Works Director or designee shall issue a permit to the applicant. The Public Works Director or designee may impose such conditions on permits as he/she deems necessary to ensure that the above described requirements are met using good engineering practices and in conformance with the Driveway Permit Guidelines. By acceptance of the permit, the applicant agrees to abide by all terms and conditions contained in the permit, in this subchapter, and in any other applicable regulations of the city. Permits shall expire at the end of ninety (90) days unless extended.

(C) *Construction procedure.* Upon issuance of the permit to the applicant, the Public Works Department will furnish the applicant the pipe and grade specifications. Swale locations referenced to the property line shall be constructed as specified in the permit. Any deviations must be approved in writing by the Public Works Director or designee. Based on the stormwater management regulations set forth of §§174.050 et seq., the area fronting a proposed building site extending from the edge of the pavement to the property line shall be addressed as provided for in the Driveway Permit Guidelines

(D) Fees.

- (1) The fees for issuance of a driveway permit in compliance with the driveway code shall be as follows:
- (a) Permit (residential) new construction  
\$100.00
  - (b) Permit (commercial) new construction  
\$130.00
  - (c) Permit (revision, curb cut, extension to existing permitted driveway, a driveway with curb and gutter, temporary driveway, construction access drive way, and/or demolition of an existing driveway  
\$50.00
  - (d) Reinspection, recalls, failures, expirations within ninety (90) days, each additional site visit  
\$30.00
  - (e) Expirations in excess of ninety (90) days require new application
- (2) The fees as set forth in this section shall be increased by four percent (4%) (rounded to the nearest dollar) each fiscal year. Should any decrease in such fees be warranted in any given year, they shall also be decreased annually by that percentage that accurately reflects the reduction of permits requested and the specific and ascertainable resulting reduction in funds needed to pay the city costs to manage all services and time needed to issue and monitor the permits required by this section.

(E) *Bond.* A performance bond, or other financial security approved by the City Attorney, may be required in the case where the specified work is incomplete and certificate of occupancy has been requested, or when damages to the right-of-way or any public property has been done and not repaired in accordance with good engineering practices or the Driveway Permit Guidelines, or when the work is nonconforming as determined by the Public Works Department. In addition to paying the fees established by the Council, a performance bond or other security approved by the City Attorney in the amount of one hundred dollars (\$100.00) nonrefundable processing fee, plus two thousand dollars (\$2,000.00) retainer refundable upon completion of specified work within thirty (30) days. If the work in question exceeds a value of two thousand dollars (\$2,000.00), the bond amount shall be increased by the difference plus ten percent (10%). If said work is incomplete after thirty (30) days the bond will be forfeited. All such bonds or other security arrangements shall be on forms approved by the City Attorney. Such forms shall prescribe the manner in which noncompliance with the provisions of a permit or this subchapter shall be remedied, and shall provide the necessary financial assurances to remedy any non-compliance.

('74 Code, §20-77) (Ord. 85-11, passed 3-21-85; Am. Res. 85-25, passed 3-21-85; Am. Ord. 2000-70, passed 12-21-00) Penalty, see § 179.999

**D. §179.078 Special Conditions for Residential Improvements.**

An owner of property who desires to construct a single-family residence accompanying driveway on his or her property may apply for a driveway permit simultaneously with the application for the residential building permit. If a driveway is necessary to provide access to the property, no certificate of occupancy can be obtained until the owner:

(A) Obtains a permit for the construction of the driveway pursuant to this subchapter and final approval thereof by the Public Works Department; and

(B) Agrees to complete construction of the driveway within ninety (90) days from the date the permit is issued. Failure to complete construction within such ninety (90) day period shall constitute noncompliance and void the permit.

('74 Code, §20-78) (Ord. 85-11, passed 3-21-85; Am. Ord. 2000-70, passed 12-21-00) Penalty, see § 179.999

**E. §179.079 Design and Construction Requirements.**

(A) *Compliance with law.* All driveway improvements, as provided in this subchapter, shall comply with the applicable sections of the subdivision, zoning and building regulations of the city. Within all zoning districts, the improvements shall be constructed to city standards and specifications and approved prior to the issuance of a certificate of occupancy.

(B) *Design standards.* The Driveway Permit Guidelines and the specifications provided upon issuance of a permit will provide the technical specification providing for construction. Any deviations shall be approved in writing by the Public Works Director or designee. Approval shall not be unreasonably withheld providing such deviations conform to good engineering practices.

('74 Code, §20-79) (Ord. 85-11, passed 3-21-85; Am. Ord. 2000-70, passed 12-21-00) Penalty, see §179.999

**F. §179.080 Restoration of Damaged Areas**

Any person(s), firm, business entity, or corporation that damages property located on, under, across or along a right-of-way or easement or any city road or other city improvement shall be required to either restore the damaged property to its condition prior to the damage or shall pay to the city the sum of money determined by the Public Works Department to be necessary to restore the damaged area to its condition prior to the damage. Any such restoration shall meet all construction and engineering standards of the city. Additionally, any permittee who has previously failed to restore the damage(s) as required by this subchapter shall not be issued further permits from the city until such damage is

either restored and accepted by the Public Works Department, or the entire cost of restoration incurred by the city to make such restorations has been paid in full by the applicant. In the event discrepancies arise as to the responsibility for damage, the burden of proof shall be on the person or permittee to establish that the person or permittee is not responsible.

*(Ord. 2000-70, passed 12-21-00)*

## Driveway Inspection Checklist (Pre-Pour)

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Unit: \_\_\_\_\_





	<u>DATE/INITIAL</u>
1. PIPE SIZE AND INVERT ELEVATION	_____
2. LENGTH OF PIPE EXCEEDING DRIVEWAY/HEADWALLS	_____
3. WIDTH OF DRIVEWAY AT R/W (12' MIN – 32' MAX)	_____
4. WIDTH OF DRIVEWAY AT E/P (22' MIN)	_____
5. DRIVEWAY FLARE (3' X 8' OR 5' X 10')	_____
6. FORM (3/4") AT E/P FOR REVEAL – IF SPECIFIED	_____
7. DISTANCE FROM PIPE TO R/W	_____
8. FOOTER (12" DEPTH X 16" WIDTH) WITH REBAR	_____
9. WIRE MESH/FIBER MESH	_____
10. 4" OF 3,000 PSI CONCRETE (MIN)	_____
11. MINIMUM OF 6" OF COVER OVER PIPE (INCLUDING CONCRETE)	_____

# Driveway Inspection Checklist (Final)

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Unit: \_\_\_\_\_

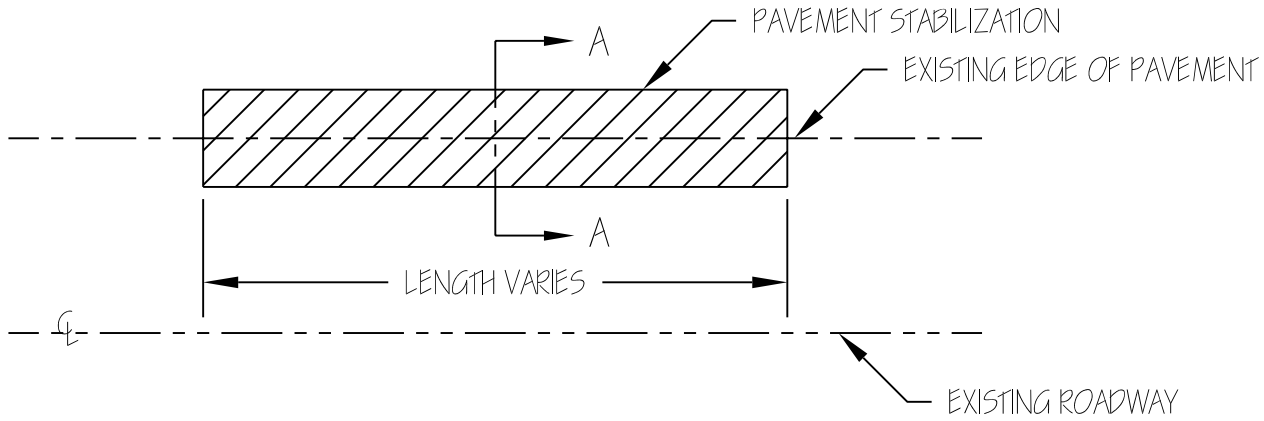
	<u>DATE/INITIAL</u>
1. SWALE GRADED TO SPECS	_____
2. SEED AND MULCH OR SOD FROM EDGE OF PAVEMENT TO R/W OR TOP OF SLOPE	_____
3. IF SEED AND MULCH, THEN SEED MUST HAVE 80% GERMINATION	_____
4. SOD LOWER THAN EDGE OF PAVEMENT/TRANSITION TO C/L SWALE	_____
5. DISTURBED VACANT LOTS NEED TO BE RESTORED WITH SEED AND MULCH.	_____
6. SURFACE WATER FROM REAR OF LOT PROHIBITED FROM RUNNING INTO CANALS OR DRAINAGE RIGHTS-OF-WAY UNLESS DESIGNED BY PLAN	_____
7. DISTURBED AREAS IN ADJACENT CANALS AND RIGHTS-OF-WAY TO BE RESTORED (GRADE & SEED & MULCH)	_____
8. ANY PAVEMENT DAMAGE RESTORED/DIRT SWEEPED FROM PAVEMENT	_____
9. CHECK FOR FIBERMESH IF THERE WAS NO STEEL AT PRE-POUR	_____
10. CONSTRUCTION DEBRIS/TRASH REMOVED FROM R/W AND ADJACENT LOTS	_____
11. CONDITION OF PIPE (CRUSHED, CLEAN OF DEBRIS)	_____

BCCMP	=	BITUMINOUS COATED CORRUGATED METAL PIPE CULVERT	N	=	NORTH
BM	=	BENCHMARK	N/A	=	NOT APPLICABLE or NOT AVAILABLE
Δ	=	CENTRAL ANGLE	NGVD	=	NATIONAL GEODETIC VERTICAL DATUM OF 1929
℄	=	CENTERLINE	NTS	=	NOT TO SCALE
CIR	=	CAPPED IRON ROD	O/S	=	OFFSET
CMP	=	CORRUGATED METAL PIPE	OD	=	OUTSIDE DIAMETER
CONC	=	CONCRETE	℄	=	PROPERTY LINE
COR	=	CORNER	P	=	PLAT
CPE	=	CORRUGATED POLYETHYLENE PIPE	PC	=	POINT OF CURVATURE
DRWY	=	DRIVEWAY	PP	=	POWER POLE
E	=	EAST	PT	=	POINT OF TANGENCY
E/P	=	EDGE OF PAVEMENT	PCP	=	PERMANENT CONTROL POINT
EL	=	ELEVATION	PLS	=	PROFESSIONAL LAND SURVEYOR
ESMT	=	EASEMENT	PRM	=	PERMANENT REFERENCE MONUMENT
EXIST	=	EXISTING	PU&D	=	PUBLIC UTILITIES AND DRAINAGE EASEMENT
EXT	=	EXTENSION	PVMT	=	PAVEMENT
FD	=	FOUND	R	=	RADIUS
FL	=	FLOWLINE	R/W	=	RIGHT OF WAY
FT	=	FEET	RCP	=	REINFORCED CONCRETE PIPE
HDWL	=	HEADWALL	REQ	=	REQUIRED
ID	=	INNER DIAMETER	S	=	SOUTH
IP	=	IRON PIPE	S/W	=	SIDEWALK
IR	=	IRON ROD	SHLDR	=	SHOULDER
L	=	LENGTH	W	=	WEST
M	=	MEASURED	XING	=	CROSSING
MAX	=	MAXIMUM			
MH	=	MANHOLE			
MIN	=	MINIMUM			

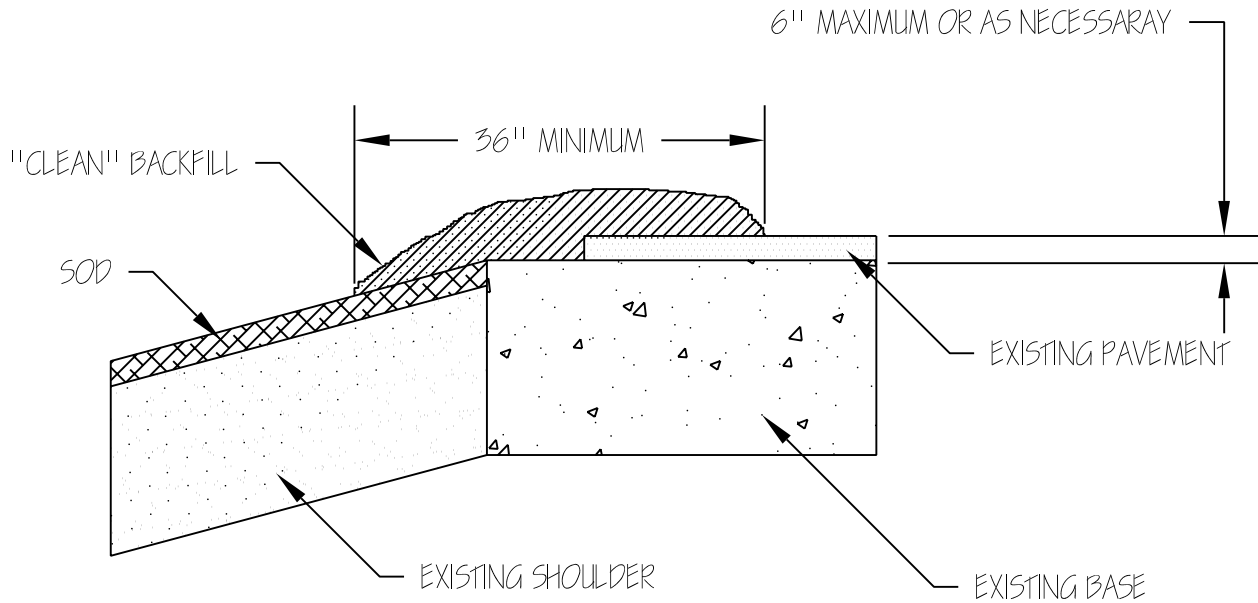
±	=	APPROXIMATE	∅	=	ROUND OR DIAMETER
	=	BENCHMARK		=	POWER POLE
	=	FIRE HYDRANT	Ⓧ	=	DRAINAGE INLET
	=	PALM TREE	Ⓢ	=	SEWER MANHOLE
	=	PINE TREE	—x—	=	FENCE LINE
	=	OAK TREE		=	PAVED SWALE CROSSING
<u>22.4</u>	=	EXISTING ELEVATION	<u>22.4</u>	=	PROPOSED ELEVATION

## ABBREVIATIONS

(N.T.S.)



PLAN VIEW



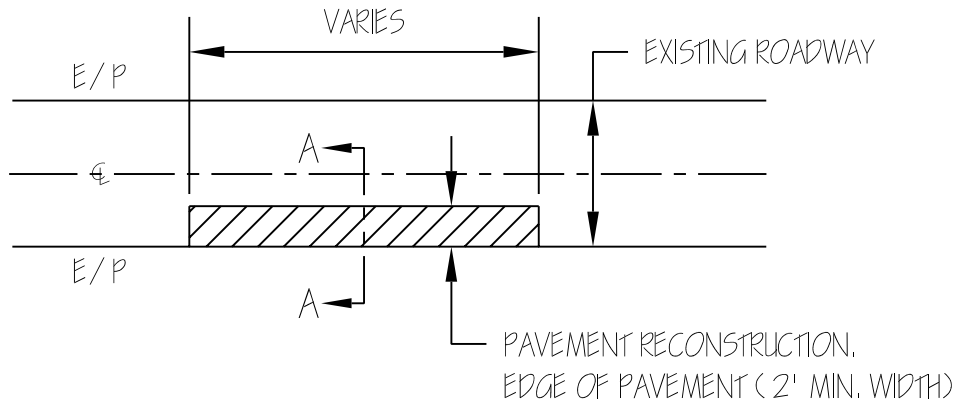
SECTION "A-A"

GENERAL NOTES:

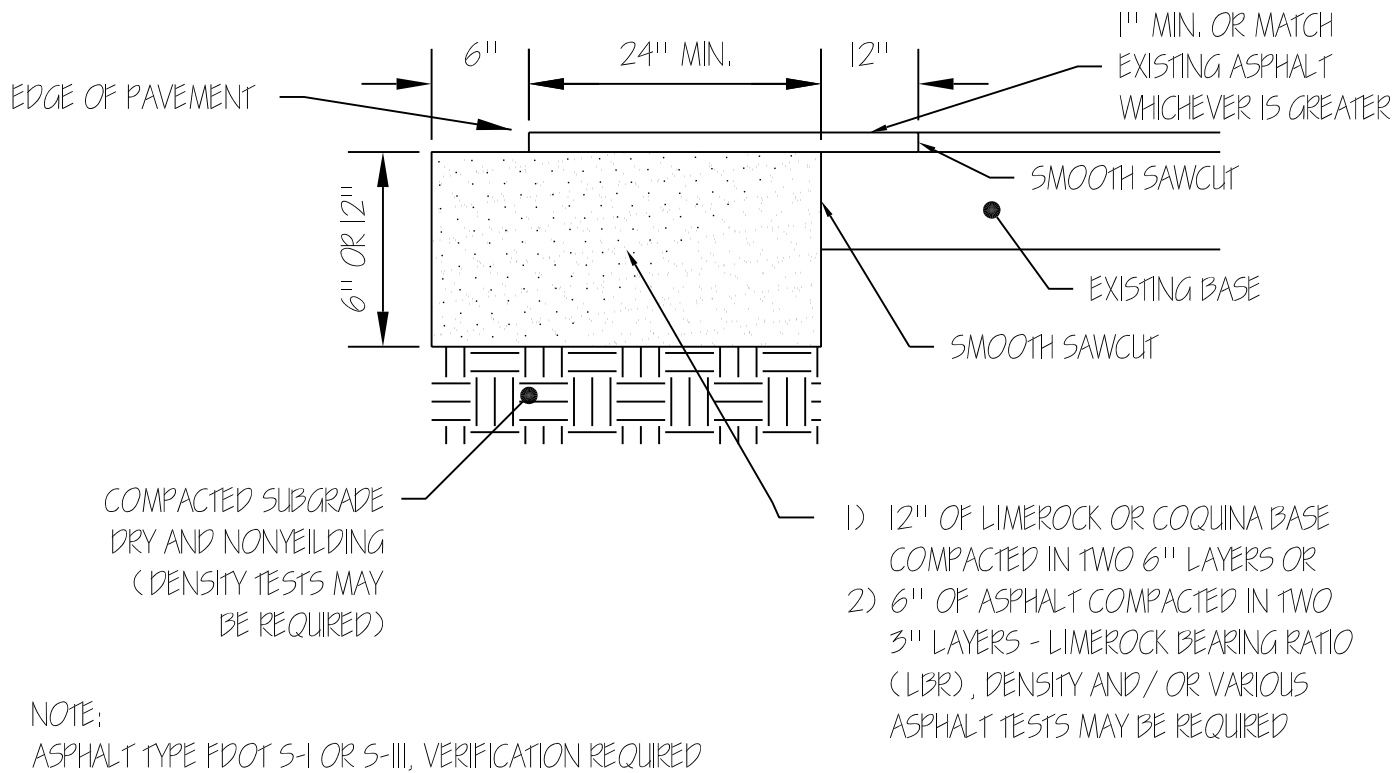
1. DRAINAGE OF RIGHT OF WAY TO BE MAINTAINED AT ALL TIMES.
2. STABILIZED BACKFILL SHALL NOT INTERFERE WITH TRAFFIC ACCESS.

**TEMPORARY EDGE OF PAVEMENT STABILIZATION DETAIL**

(N.T.S.)



PLAN VIEW



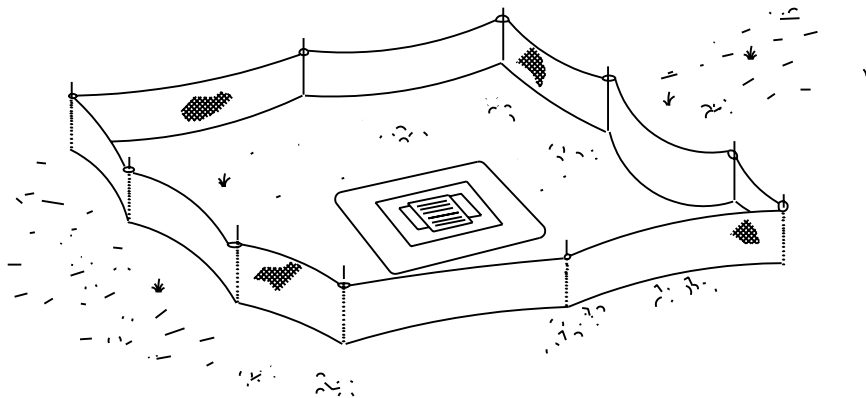
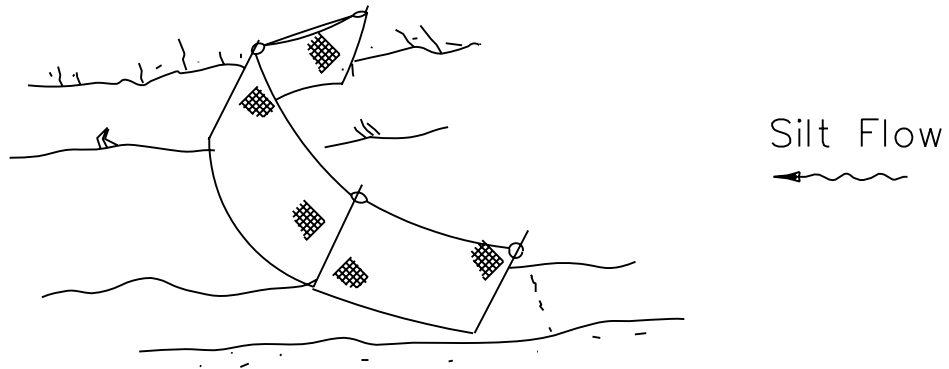
SECTION "A-A"

GENERAL NOTES:

1. LONGITUDINAL CUTS SHALL BE NEAT SAWCUT LINES PARALLEL TO EDGE OF PAVEMENT.
2. TRANSVERSE CUTS SHALL BE NEAT SAWCUT LINES AT RIGHT ANGLES TO PAVEMENT CENTERLINE.
3. BASE SHALL BE RECONSTRUCTED 6" OUTSIDE OF EDGE OF PAVEMENT.

## EDGE OF PAVEMENT RECONSTRUCTION DETAIL

(N.T.S.)



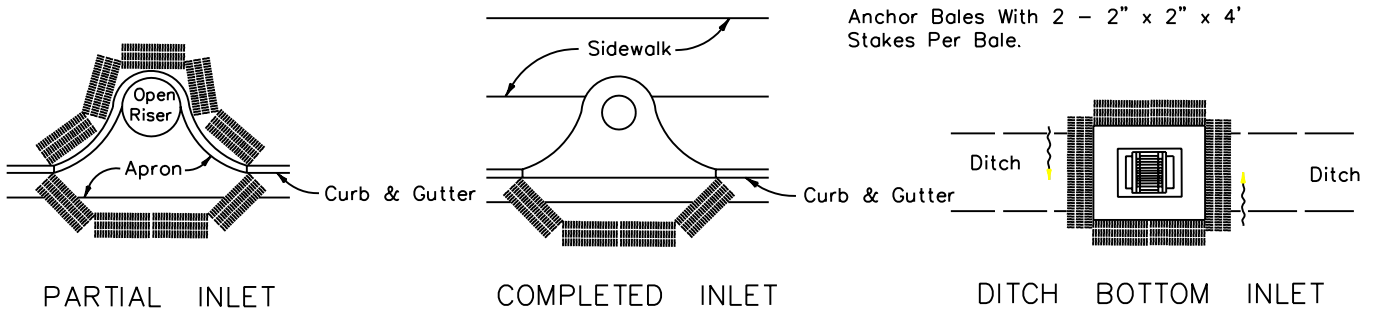
Silt Fence Protection  
Around Ditch Bottom Inlets.

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

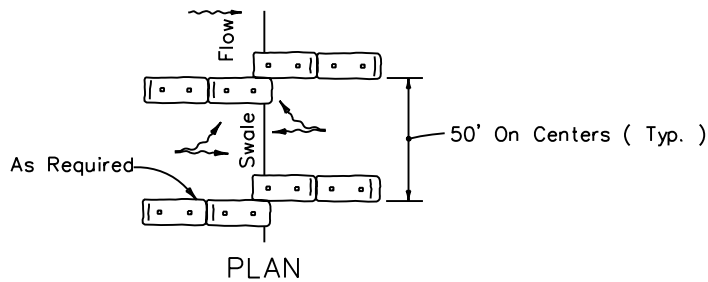
## SILT FENCE APPLICATIONS

# EROSION CONTROL APPLICATIONS DETAIL

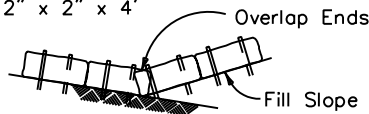
(N.T.S.)



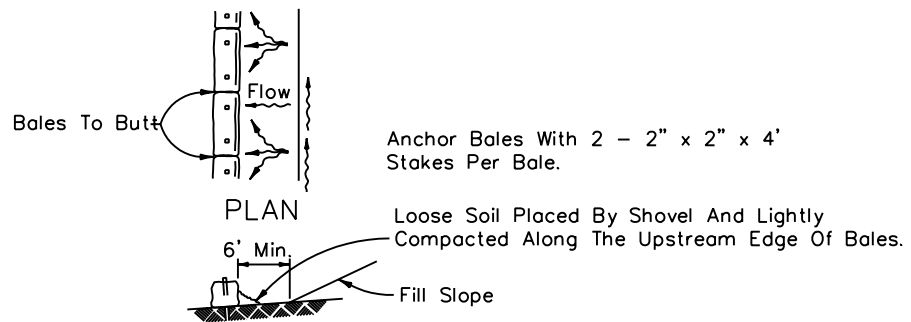
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



Anchor Bales With 2 - 2" x 2" x 4' Stakes Per Bale.



TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE

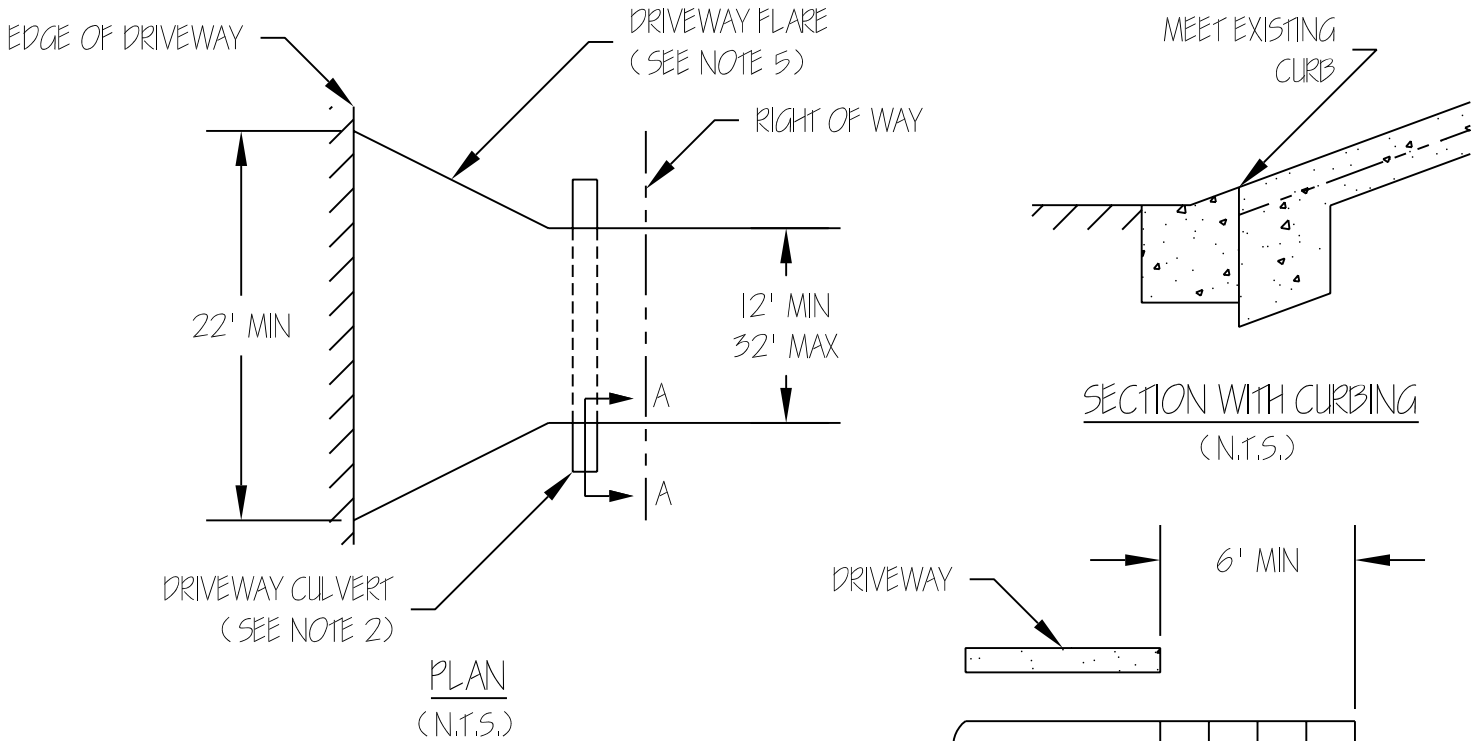


TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

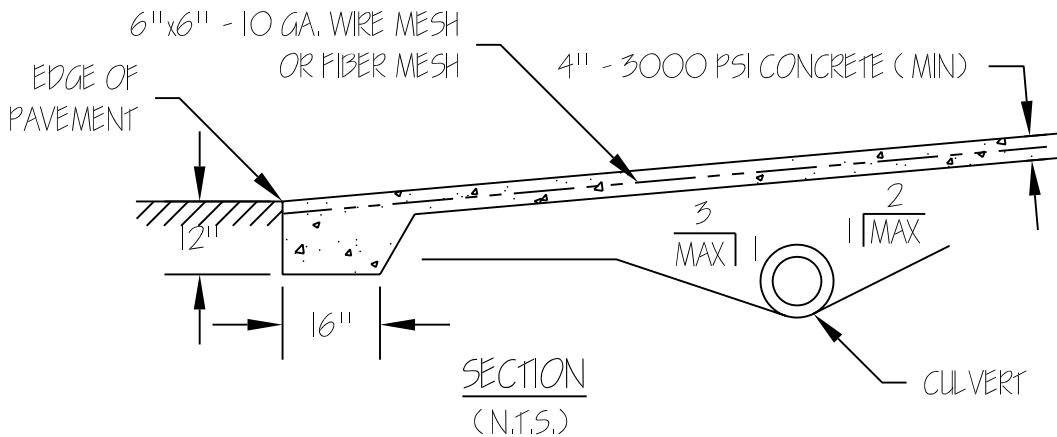
BARRIERS FOR FILL SLOPES

**EROSION CONTROL APPLICATIONS DETAIL**

(N.T.S.)



NOTE:  
MES OPTIONAL UPON ENGINEERING SPECIFICATIONS

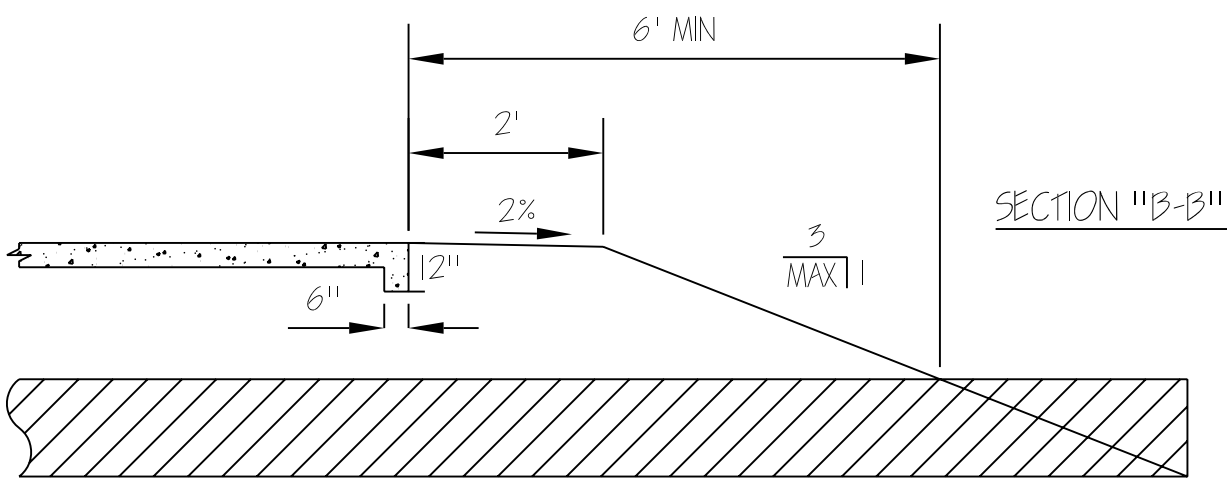
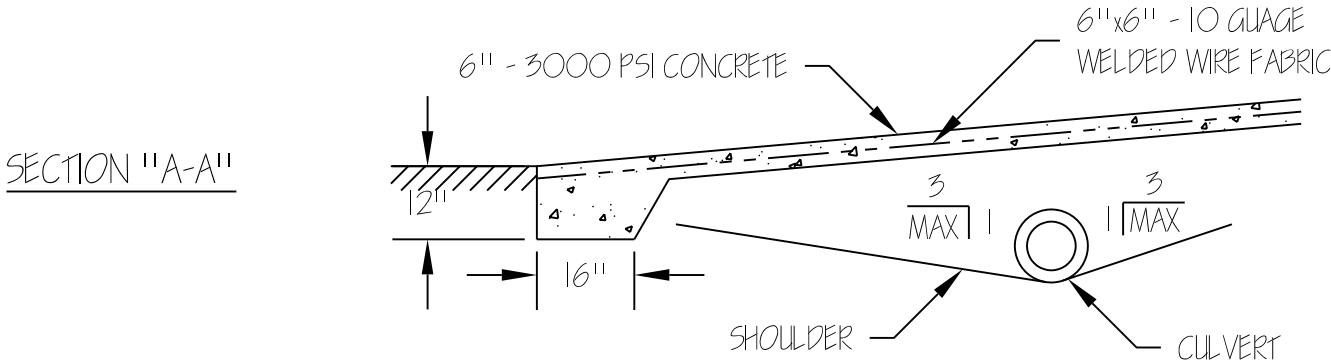
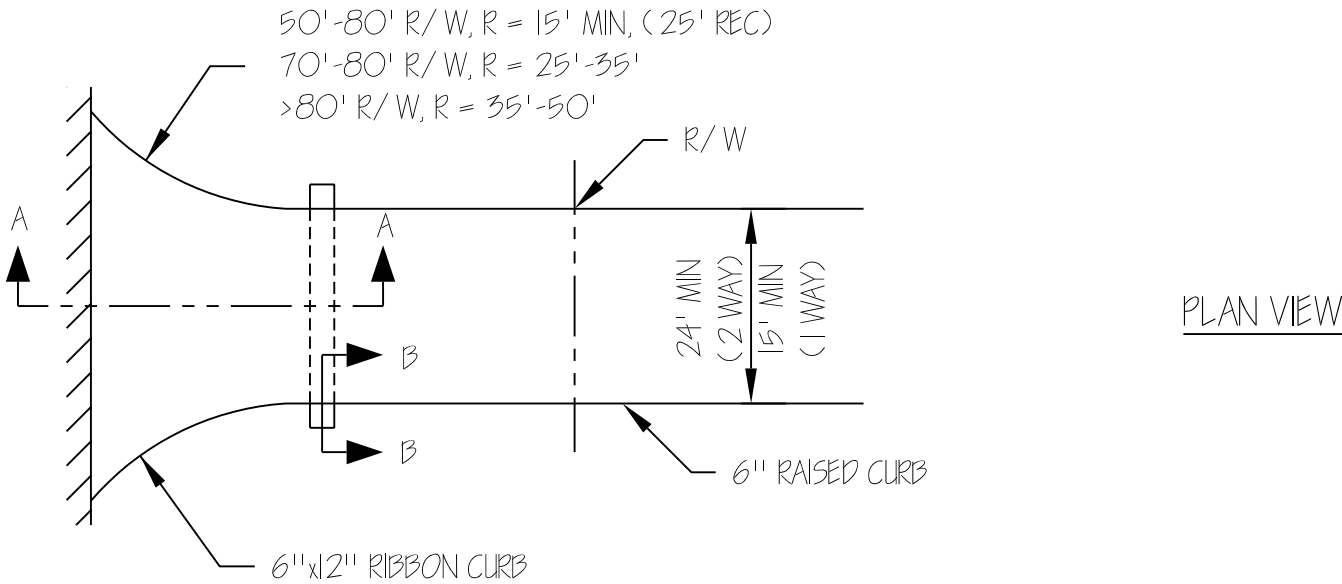


GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF PALM BAY STANDARDS AND SPECIFICATIONS.
2. IN CITY RIGHT OF WAYS, A DRIVEWAY PERMIT SHALL BE REQUIRED. CULVERT SIZE LOCATION, AND INVERT INFORMATION WILL BE PROVIDED BY THE TRANSPORTATION AND DRAINAGE DIVISION. STATE OR COUNTY PERMITS SHALL BE REQUIRED IF WITHIN THOSE RIGHT OF WAYS.
3. EXISTING SIDEWALKS AND BIKEPATHS SHALL NOT BE CHANGED IN ANY MANNER EITHER IN LENGTH OR ELEVATION.
4. LENGTH OF CULVERT PIPE, IF NOT SHOWN ON PLANS, SHALL BE A MINIMUM OF 24'. FOR DRIVEWAY WIDTHS IN EXCESS OF 12', THE CULVERT PIPE SHALL EXTEND BEYOND DRIVEWAY AS REQUIRED.
5. PIPE MATERIAL TO BE CORRUGATED STEEL PIPE, REINFORCED CONCRETE PIPE OR HIGH DENSITY POLYETHYLENE PIPE.
6. DRIVEWAY FLARES ARE TO BE 5' TAPERED BACKWARD 10' FOR 12' WIDE DRIVES. DRIVEWAY FLARES ARE TO BE 3' WIDE TAPERED BACKED 3' WIDE TAPERED BACKED 8' FOR 16' WIDE DRIVES OR LARGER.

# DRIVEWAY (SINGLE-FAMILY RESIDENTIAL) DETAIL

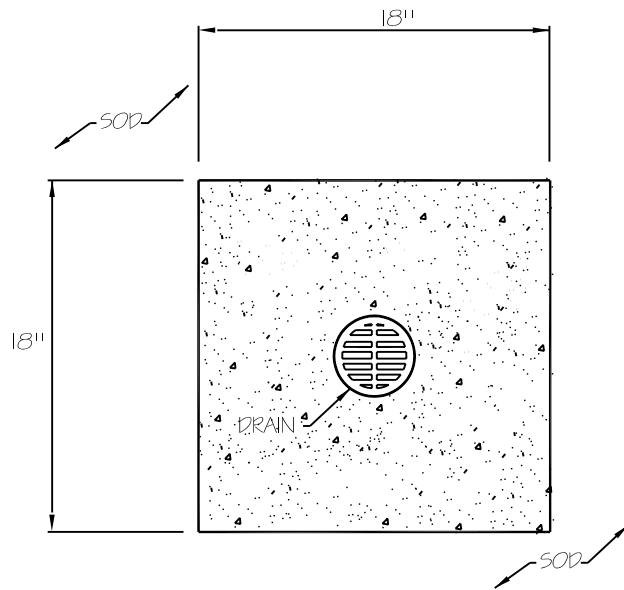
(N.T.S.)



GENERAL NOTES:  
 1. REPLACEMENT OF EXISTING DRIVEWAY APRONS SHALL BE TO DIMENSIONS SHOWN OR TO MATCH THAT OF EXISTING.

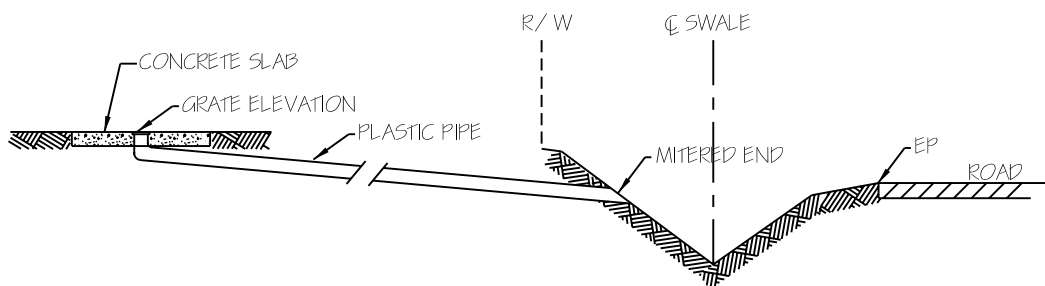
# DRIVEWAY (COMMERCIAL) DETAIL

(N.T.S.)



CONCRETE SLAB, 3" THICK

TOP VIEW

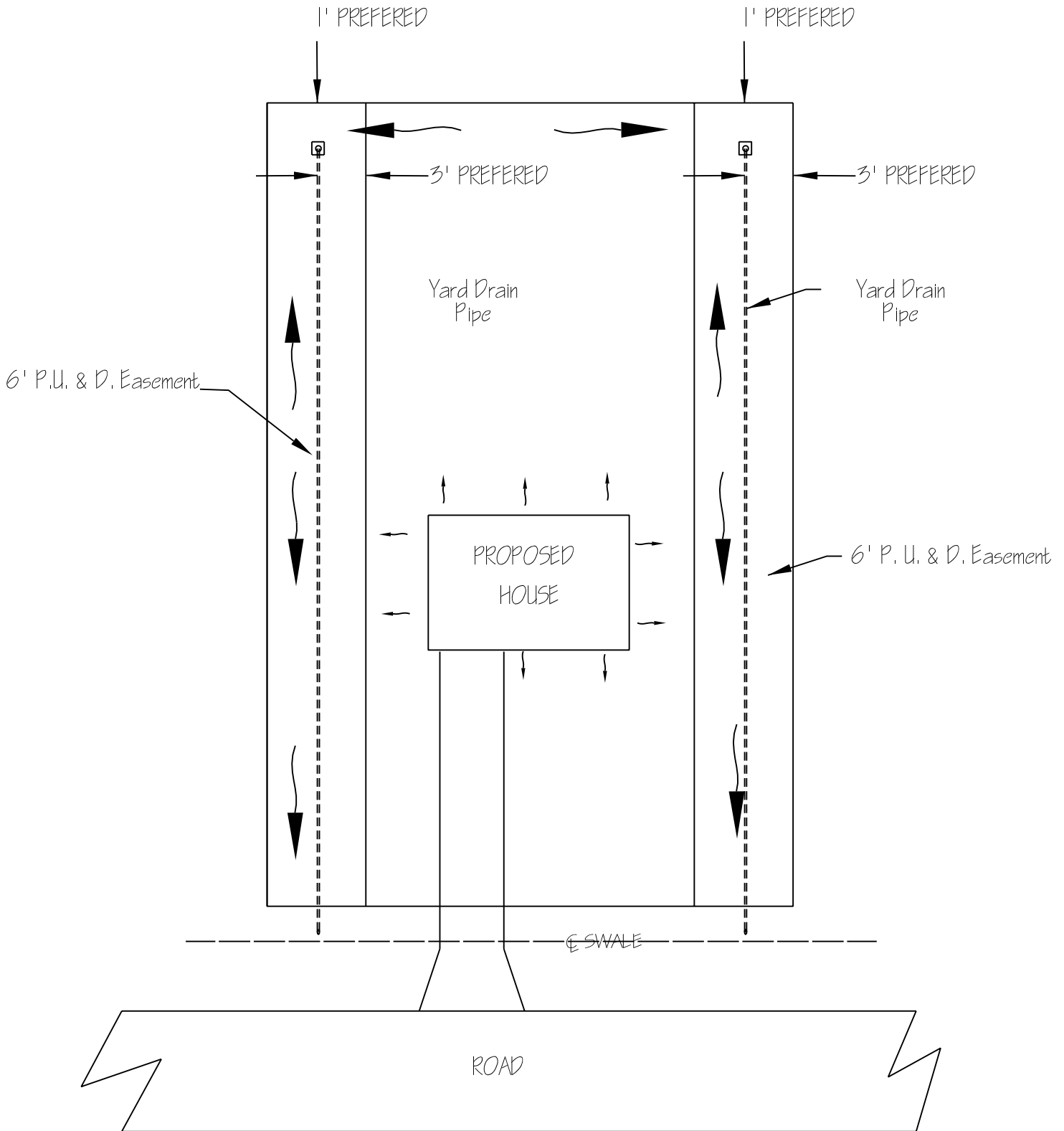


SECTION

GENERAL NOTES:

## TYPICAL YARD DRAIN DETAIL

(N.T.S.)



**YARD DRAIN PLACEMENT**

(N.T.S.)